

Committee Date	19.05.2022	
Address	35 St John's Road Petts Wood Orpington BR5 1HS	
Application Number	21/05058/FULL6	Officer - Emily Harris
Ward	Petts Wood And Knoll	
Proposal	Alterations to existing roof including half hipped gables, 2 front dormer extensions, front rooflight and rear dormer extension to provide enlarged accommodation within the roofspace	
Applicant	Agent	
Mr True	Mr Jon Bale	
35 St Johns Road Petts Wood BR5 1HS Kent	3 Rice Parade Fairway Petts Wood BR5 1EQ	
Reason for referral to committee	Call-In	Councillor call in
	Call-In	Yes

RECOMMENDATION	Application Permitted
-----------------------	-----------------------

<p>KEY DESIGNATIONS</p> <p>Article 4 Direction Biggin Hill Safeguarding Area Biggin Hill Safeguarding Area London City Airport Safeguarding London City Airport Safeguarding Open Space Deficiency Smoke Control SCA 4</p>
--

Representation summary	<ul style="list-style-type: none"> Neighbour notification letters were sent on 17th November 2021.
Total number of responses	0
Number in support	0
Number of objections	0

1. SUMMARY OF KEY REASONS FOR RECOMMENDATION

- The development would not result in a harmful impact on the appearance of the host dwelling.
- The development would not have a significantly harmful impact on the amenities of neighbouring residents.

2. LOCATION

- 2.1 The application site comprises a chalet style bungalow on the south western side of St Johns road, Petts Wood. The property is not listed and does not lie within an area of special designation. The properties either side are two storey dwellings and the surrounding dwellings are varied in character and materials used.

Figure 1: Site Location Plan

SITE LOCATION PLAN (SCALE 1:1250)



3. PROPOSAL

The proposal seeks planning permission for the following:

- Alterations to the roof including the incorporation of two half hipped gabled and removal of one dormer window.
- The addition of two front dormers with pitched roofs, with one front rooflight.
- The addition of a rear dormer.
- The removal of one side window.

Figure 2: Front and Rear Elevations

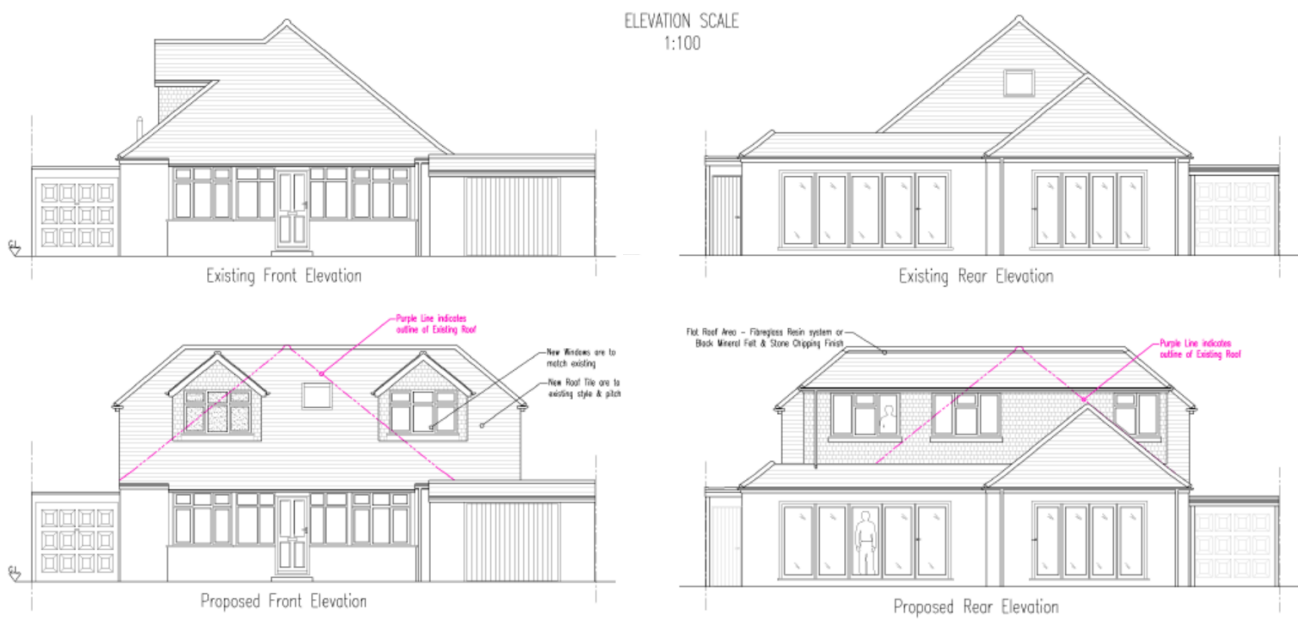


Figure 3: Existing and Proposed Streetscene:



Figure 4: Photo of Front Elevation:



Figure 5: Photo of Rear Elevation



4. RELEVANT PLANNING HISTORY

- 96/00340/FUL – Single storey front/side extension and side dormers – Permitted
- 17/04455/FULL6 – Single storey rear extension – Permitted.

5. CONSULTATION SUMMARY

A) Statutory

- None required.

B) Local Groups

- None required.

C) Adjoining Occupiers

- None received.

6. POLICIES AND GUIDANCE

National Policy Framework 2021

The London Plan

- D1 London's form and characteristics
- D4 Delivering Good Design

Bromley Local Plan 2019

- 6 Residential Extensions
- 30 Parking
- 37 General Design of Development

7. ASSESSMENT

7.1 Procedural points

7.1.2 The application has been called in to Committee because Members wished to add conditions to remove the Permitted Development under Schedule 2 Part 1 which includes extensions to enlarge, improve or alter a dwellinghouse, additions and alterations to the roof, porches, buildings and other hard surfaces.

7.1.3 Paragraph 55 of the National Planning Policy Framework makes clear that planning conditions should be kept to a minimum, and only used where they satisfy the following tests:

1. necessary;
2. relevant to planning;
3. relevant to the development to be permitted;
4. enforceable;
5. precise; and
6. reasonable in all other respects.

7.1.4 These are referred to in this guidance as the 6 tests, and each of them need to be satisfied for each condition which an authority intends to apply.

7.1.5 Removing the permitted development rights under schedule 2 Part 1 is not considered to meet the above tests. A planning application has been submitted for alterations to existing roof including half hipped gables, 2 front dormer extensions, front rooflight and rear dormer extension to provide enlarged accommodation within the roofspace. The total volume enlargement of the proposed roof enlargement would be 113.83 m³, as such they would not be able to extend further under Class B of the GPDO. Removing permitted development rights for extensions and alterations, porches, outbuildings, hard surfaces, alterations or replacement of a chimney, flue or soil and vent alteration, or replacement of microwave antenna such as satellite dishes is not considered necessary, relevant to the development permitted or reasonable, so does not meet the tests.

7.2 Design – Layout, scale height and massing - Acceptable

7.2.1 The street contains a mixture of bungalows and two storey dwellings, many of which have been extended to varying extents.

7.2.2 The proposed dormers and barn hipped roof would add significant bulk to the property at roof level. However the roof extension would be not exceed the ridge height of the main dwelling. Furthermore, the resulting scale of the dwelling would not appear excessive given its siting between the two storey dwellings either side.

7.2.3 With regards to the proposed rear dormer, it would have a limited visual impact on the character of the street scene by reason of its location at the rear of the dwelling.

7.2.4 The proposal includes the addition of two dormers on the front roofslope which would have pitched roofs. Whilst front dormers are not a prevalent feature of this part of St John's road, there are examples in the surrounding area such as at No.62 St Johns road opposite the application site. The dormers would be in proportion to the scale of the existing roof and therefore it is not considered that these will appear out of character with the host building.

7.2.5 As such, the design of the extension is considered to be acceptable in this instance. It would harmonise appropriately with the size and proportions of the main dwelling. The rear extension extends a modest distance from the house and would appear as proportionate in relation to the dwelling and the garden space.

7.3 Neighbourhood Amenity - Acceptable

7.3.1 The proposed roof extension relates only to the roof and would not result in an increase in the footprint of the host dwelling. The proposed extension would be set away from the boundary to the south east by 2.3m, and 0.9m to the north west. Given this separation distance, it is not considered that a significant loss of amenity with particular regard to outlook, prospect and privacy would arise complying with Policy 37 of the Bromley Local Plan. It is also noted that no objections were received from adjoining neighbours.

7.3.2 No windows are proposed on either flank wall at first floor level and as such there would not be any opportunities for overlooking into either neighbouring dwelling.

8. CONCLUSION

8.1 Having regard to the above, the development in the manner proposed is considered acceptable as it would not result in any unacceptable impact upon the amenities of neighbouring residents or the character and visual amenities of the host dwelling or the surrounding area and would therefore preserve its character and appearance.

8.2 Background papers referred to during production of this report comprise all correspondence on the files set out in the Planning History section above, excluding exempt information.

RECOMMENDATION: Application Permitted

Subject to the following conditions:

1. Time Period
2. Materials to Match Existing
3. Compliance with Approved plans
4. Remove HMO rights

Any other planning condition(s) considered necessary by the Assistant Director of Planning